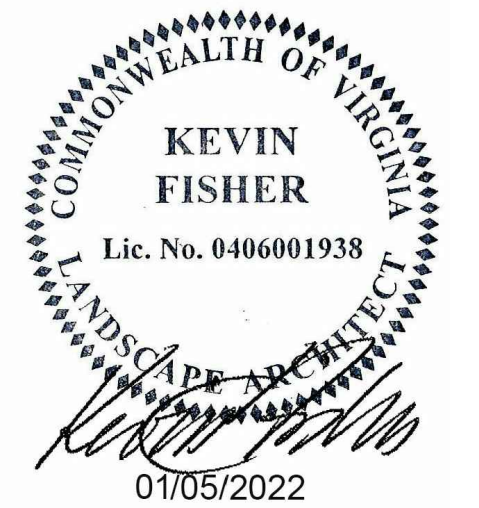


NORTHERN VIRGINIA REGIONAL PARK AUTHORITY

OCCOQUAN REGIONAL PARK TERRACE EXPANSION



NAME: KEVIN FISHER
 LICENSE: COMMONWEALTH OF VIRGINIA
 LIC. NO.: 0406001938

RHI RHODESIDE HARWELL
 LANDSCAPE ARCHITECTURE
 PLANNING/URBAN DESIGN
 510 KING ST, SUITE 300
 ALEXANDRIA, VA 22314
 347 W 36TH ST, SUITE 1201
 NEW YORK, NY 10018
 T 703.683.7447
 F 703.683.7449

REVISION:

05 JANUARY 2022, CONSTRUCTION DOCUMENTS

SCALE: AS SHOWN

SHEET NAME:

NOTES, SYMBOLS & DRAWING LIST

SHEET NUMBER:

L0.0

DATE: 05 JANUARY 2022

SHEET INDEX:

- L0.0 NOTES, SYMBOLS & DRAWING LIST
- L1.1 MATERIALS & PLANTING PLAN
- L2.1 LAYOUT PLAN
- L3.1 DETAILS

GENERAL NOTES:

1. THE DRAWINGS AND SPECIFICATIONS, TAKEN TOGETHER, DESCRIBE THE DESIGN FOR THIS PROJECT. THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO BE COMPLIMENTARY TO EACH OTHER.
2. THAT WHICH IS SHOWN ON THE DRAWINGS BUT NOT IN THE SPECIFICATIONS, OR SHOWN IN THE SPECIFICATIONS BUT NOT ON THE DRAWINGS, SHALL BE PROVIDED AS IF SHOWN IN BOTH PLACES AND TO THE SAME STANDARD OF QUALITY FOR SIMILAR ITEMS.
3. DRAWINGS SHOW EXTENT, LOCATION, DIMENSIONS, RELATIONSHIPS AMONG VARIOUS PART, AND QUANTITY OF ITEMS. IN CASE OF CONFLICT WITH THE SPECIFICATIONS IN THESE MATTERS, THE DRAWINGS SHALL GOVERN.
4. SPECIFICATIONS SHOW QUALITY, TRADE NAME, GENERIC NAMES, AND WORKMANSHIP. IN CASE OF CONFLICT WITH THE DRAWINGS IN THESE MATTERS, THE SPECIFICATIONS SHALL GOVERN.
5. THE LARGER THE SCALE OF THE DRAWINGS, THE MORE PRECEDENCE: i.e. A 1 INCH PER FOOT SCALE DRAWING GOVERNS OVER A 10 FEET PER INCH DRAWING.
6. CONTRACTOR SHALL PROTECT FROM ALL DAMAGE EXISTING TREES TO REMAIN AND THEIR ROOT STRUCTURES.
7. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION (UNLESS OTHERWISE INDICATED) TO THE SATISFACTION OF THE CONTRACTING REPRESENTATIVE AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST FREE. ADEQUATE MEANS AND FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR TO CLEAN TRUCKS AND OTHER EQUIPMENT LEAVING THE SITE.
8. THE EXISTING SURROUNDING FACILITIES ARE TO REMAIN IN OPERATION WHILE CONSTRUCTION WORK IS BEING DONE. ALL UTILITY WORK SHALL BE COORDINATED WITH THE OWNER AND LOCAL UTILITY COMPANIES AND SHALL BE PERFORMED IN AN EXPEDITIOUS MANNER.
9. UTILITIES SHOWN ON DRAWINGS ARE BASED ON PUBLISHED DATA AND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY AND INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF RESPECTIVE UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT THEIR OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY THEIR WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY REASON OF THEIR OPERATION.
10. BEFORE BEGINNING ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS UTILITY AT LEAST 3 WORKING DAYS PRIOR TO STARTING WORK SO THAT THEY CAN ARRANGE TO MARK THE HORIZONTAL LOCATION OF UNDERGROUND FACILITIES.
11. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO VERTICAL AND HORIZONTAL START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE PROJECT REPRESENTATIVE IMMEDIATELY FOR CLARIFICATION.
12. FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAWCUT ALL EDGES. TIES TO EXISTING PAVEMENT AREAS SHALL BE SMOOTH CONSISTENT TRANSITIONS. NO ABRUPT CHANGE IN LINE AND/OR GRADE WILL BE PERMITTED.
13. IN AREAS OF FORMER PAVED SURFACES (ROADBEDS, WALKWAYS, ETC.), REMOVE ALL EXISTING PAVING MATERIAL, INCLUDING BASE MATERIALS. EXCAVATE EXISTING SUBGRADE TO A TOTAL DEPTH OF 18" BELOW FINISHED GRADE. SCARIFY BOTTOM OF EXCAVATION TO A DEPTH OF 4". IF FINISHED GRADE IS GREATER THAN 14" ABOVE EXISTING SUBGRADE, SCARIFY EXISTING SUBGRADE TO MINIMUM DEPTH OF 4". FILL AREA WITH APPROVED EARTH FILL TO A TOTAL DEPTH OF 4" BELOW FINISHED GRADE. PLACE SOIL IN MAXIMUM 8" LIFTS, AND COMPACT EACH LIFT TO MINIMUM 50%, MAXIMUM 75% DENSITY. SPREAD TOPSOIL OVER ENTIRE DISTURBED AREA TO DEPTH OF 4". LIGHTLY COMPACT TOPSOIL. BLEND EDGES OF TOPSOIL TO MATCH GRADES OF ADJACENT [EXISTING OR PROPOSED] CONDITIONS.
14. POSITIVE DRAINAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PONDING OR STANDING WATER WILL NOT BE PERMITTED.
15. CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT REPRESENTATIVE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND CORRECTIONS SHALL BE MADE BY THE CONTRACTOR AT NO COST TO THE OWNER.

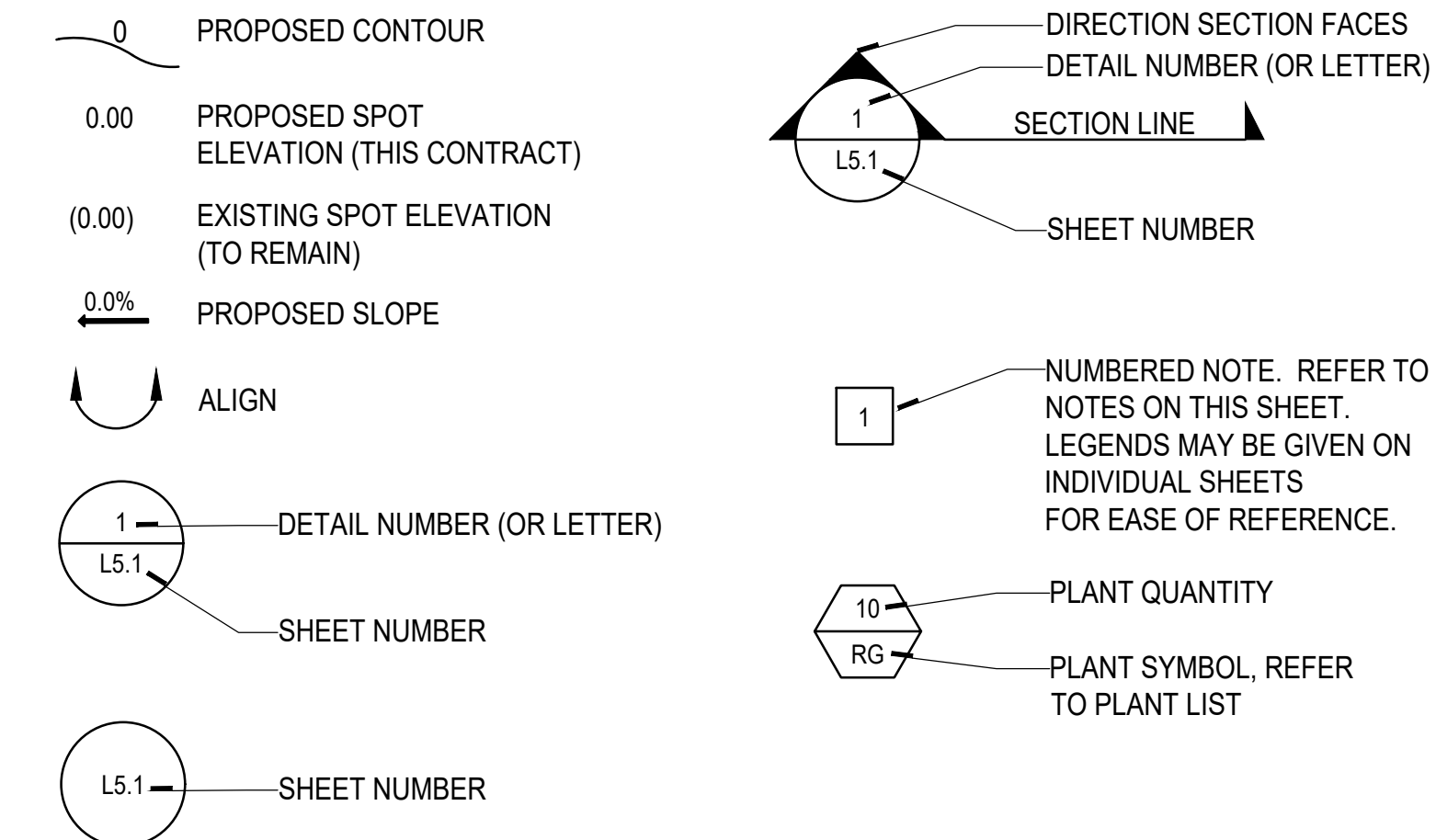
NOTES FOR WORK ON TOP OF EXISTING STRUCTURE:

1. THIS WORK TAKES PLACE ON AN EXISTING ROOF STRUCTURE. PRIOR TO CONSTRUCTION, BECOME FAMILIAR WITH THE EXISTING SUBSURFACE CONDITIONS AND TAKE CARE TO PROTECT THE EXISTING STRUCTURE INCLUDING ALL INSULATION AND WATERPROOFING.
2. DO NOT DRIVE VEHICLES OR HEAVY MACHINERY ON TOP OF EXISTING ROOF STRUCTURE.
3. BELOW THE EXISTING CONCRETE PAVING AND PLANTING SOIL ON THE ROOF STRUCTURE ARE LAYERS OF GRAVEL AND LIGHTWEIGHT GEOFOAM FILL AT VARIOUS DEPTHS. WHERE NEW CONCRETE PAVING IS BEING ADDED ON THE EXISTING ROOF STRUCTURE, CAREFULLY REMOVE THE PLANTING SOIL AND GRAVEL USING HAND TOOLS AND EXPOSE THE GEOFOAM LAYER. DO NOT PENETRATE BEYOND THE DEPTH OF THE GEOFOAM.
4. ADD LIGHTWEIGHT GEOFOAM ON TOP OF THE EXISTING GEOFOAM TO BUILD UP THE BASE TO MATCH THE BASE DEPTH OF THE EXISTING ADJACENT CONCRETE TO REMAIN. BUILD UP THE COMPACTED GRAVEL BASE AND POUR NEW CONCRETE TO PRODUCE A FLUSH CONDITION BETWEEN THE EXISTING AND NEW CONCRETE PAVING.

LIST OF LANDSCAPE ARCHITECTURAL ABBREVIATIONS

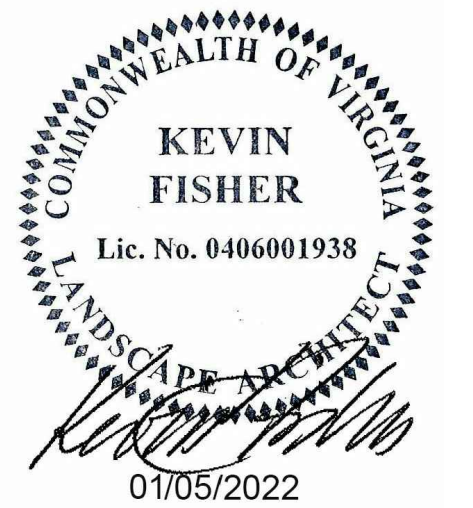
APPROX ARCH ASSOC	APPROXIMATE ARCHITECT/ARCHITECTURAL ASSOCIATED	MAX MFR MIN MISC	MAXIMUM MANUFACTURER MINIMUM MISCELLANEOUS
B&B BOC BOS BW/BOW	BALLED AND BURLAPPED BOTTOM OF CURB BOTTOM OF STAIR BOTTOM OF WALL	NOM NTS OC	NOMINAL/NOMINAL DIMENSION NOT TO SCALE ON CENTER
CAL CL COL CONC CONT	CALIPER CENTERLINE CLEAN OUT CONCRETE CONTINUOUS	PA PH POB POC PROP PVC	PLANTING AREA PHASE POINT OF BEGINNING POINT OF CURVE PROPOSED POLYVINYL CHLORIDE
DET DEMO DIA DIM DWG	DETAIL DEMOLISH/DEMOLITION DIAMETER DIMENSION DRAWING	R REINF ROW	RADIUS REINFORCED RIGHT-OF-WAY
EJ EL/ELEV ENGR EOP EQ EX EXIST	EXPANSION JOINT ELEVATION ENGINEER EDGE OF PAVE EQUAL EXISTING EXISTING	SAN SD SF SH/SHT SIM SPEC SQ SS ST STRUC	SANITARY/SANITARY SEWER STORM DRAIN SQUARE FEET SHEET SIMILAR SPECIFICATIONS/SPECIFIED SQUARE STAINLESS STEEL STORM STRUCTURE/STRUCTURAL
FC/FOC FF/FFE FG FH FOB FOW FT	FACE OF CURB FINISHED FLOOR ELEVATION FINISHED GRADE (PAVED AREA) FIREHYDRANT FACE OF BUILDING FACE OF WALL FOOT/FEET	TOC TEMP TOS TO SLAB TW/TOW TYP	TOP OF CURB TEMPORARY TOP OF STAIR TOP OF SLAB TOP OF WALL TYPICAL
GALV HC HT	GALVANIZED HANDICAP HEIGHT	UTIL VAR VIF	UTILITY VARIES/VARIABLE VERIFY IN FIELD
IN INV	INSIDE DIAMETER INVERT	W/ W/O WWF WWM	WITH WITHOUT WELDED WIRE FABRIC WOVEN WIRE MESH
LA LF LOD LOW LP	LANDSCAPE ARCHITECT LINEAR FEET LIMIT OF DISTURBANCE LIMIT OF WORK LOW POINT	MISCELLANEOUS: @ m mm ' " #	AT METERS MILLIMETERS FEET INCHES NUMBER

SYMBOLS



NORTHERN VIRGINIA REGIONAL PARK AUTHORITY

OCCOQUAN REGIONAL PARK TERRACE EXPANSION



NAME: KEVIN FISHER
 LICENSE: COMMONWEALTH OF VIRGINIA
 LIC. NO.: 0406001938

RHI RHODESIDE HARWELL
 LANDSCAPE ARCHITECTURE
 PLANNING/URBAN DESIGN
 510 KING ST, SUITE 300
 ALEXANDRIA, VA 22314
 347 W 36TH ST, SUITE 1201
 NEW YORK, NY 10018
 T 703.683.7447
 F 703.683.7449

REVISION:

05 JANUARY 2022, CONSTRUCTION DOCUMENTS
 SCALE: AS SHOWN

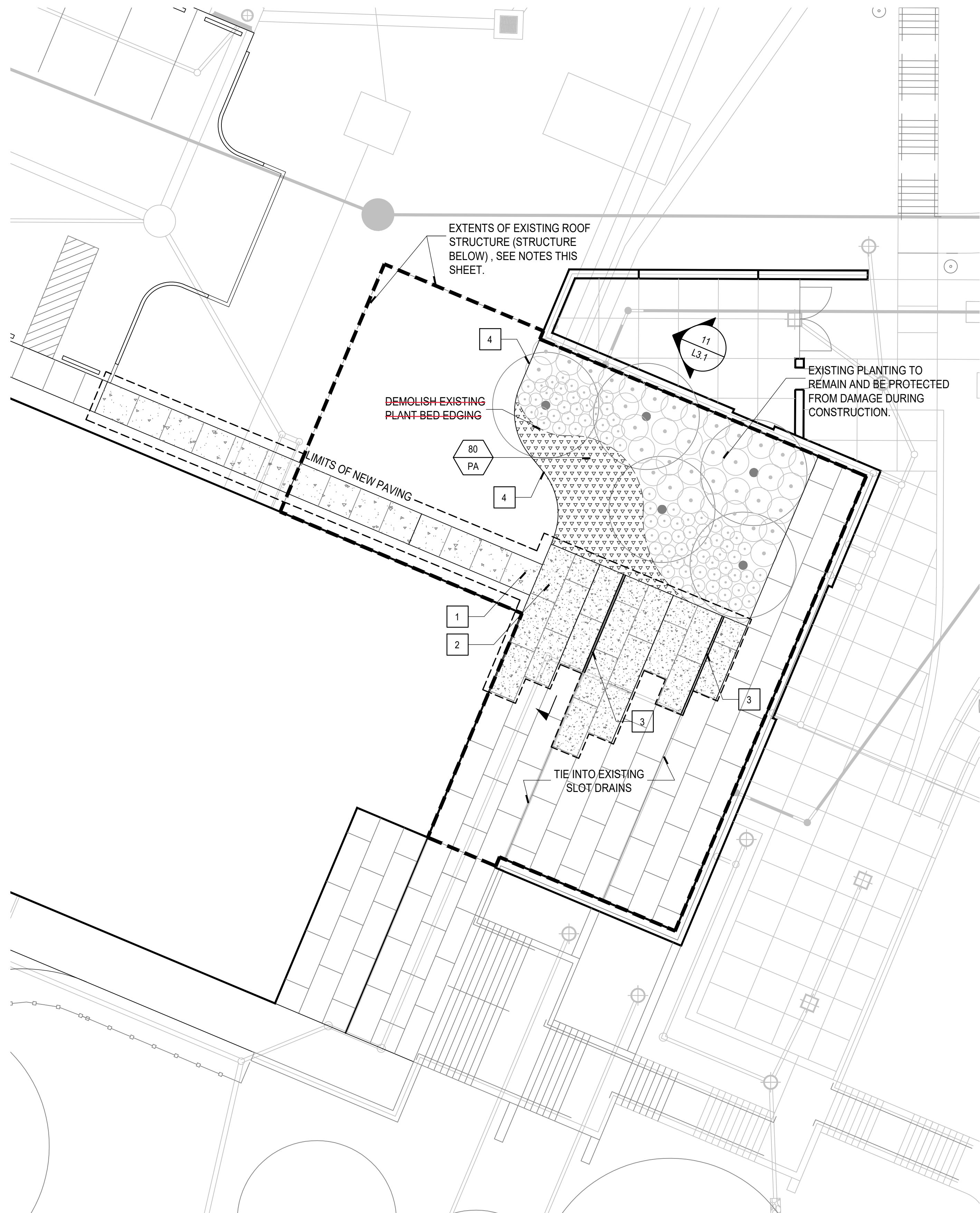
SHEET NAME:

MATERIALS & PLANTING PLAN

SHEET NUMBER:

L1.1

DATE: 05 JANUARY 2022



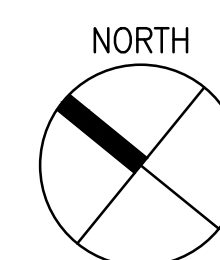
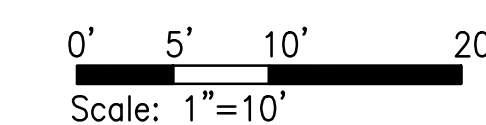
LEGEND:

- 1 CONCRETE PAVING - TYPE 1
-MATCH EXISTING BROOM FINISH, COLOR AND JOINTS.
- 2 CONCRETE PAVING - TYPE 2
-MATCH EXISTING EXPOSED AGGREGATE FINISH, COLOR AND JOINTS.
- 3 SLOT DRAIN
- 4 BED-DIVIDER
- PERENNIALS

PLANT-SCHEDULE						
QTY:	SYM.	BOTANICAL-NAME	COMMON-NAME	SIZE	CONDITION	SPACING
80	PA	PENNISETUM-ALOPECUROIDES	FOUNTAIN-GRASS	1-GAL	CONTAINER	24" O.C.

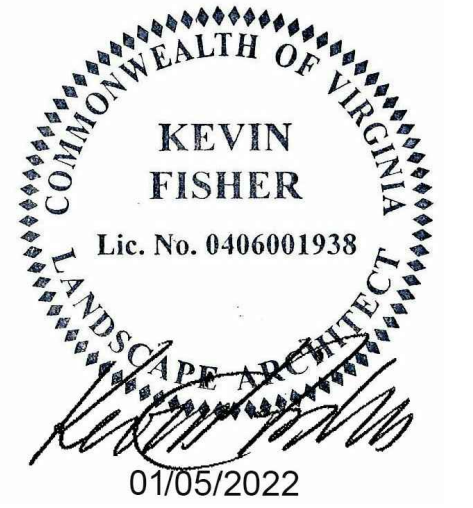
NOTES:

1. EXISTING CONCRETE PAVING TO REMAIN. PROTECT FROM DAMAGE.
2. NO HEAVY MACHINERY IS ALLOWED ON THE ROOF STRUCTURE.
3. ALL EXCAVATION THAT OCCURS ON ROOF STRUCTURE MUST BE DONE BY HAND.
4. REPAIR EXISTING TURF THAT HAS BEEN DISTURBED BY CONSTRUCTION.



NORTHERN VIRGINIA REGIONAL PARK AUTHORITY

OCCOQUAN REGIONAL PARK TERRACE EXPANSION



NAME: KEVIN FISHER
 LICENSE: COMMONWEALTH OF VIRGINIA
 LIC. NO.: 0406001938

RHI RHODESIDE HARWELL
 LANDSCAPE ARCHITECTURE
 PLANNING/URBAN DESIGN
 510 KING ST, SUITE 300
 ALEXANDRIA, VA 22314
 347 W 36TH ST, SUITE 1201
 NEW YORK, NY 10018
 T 703.683.7447
 F 703.683.7449

REVISION:

05 JANUARY 2022, CONSTRUCTION DOCUMENTS

SCALE: AS SHOWN

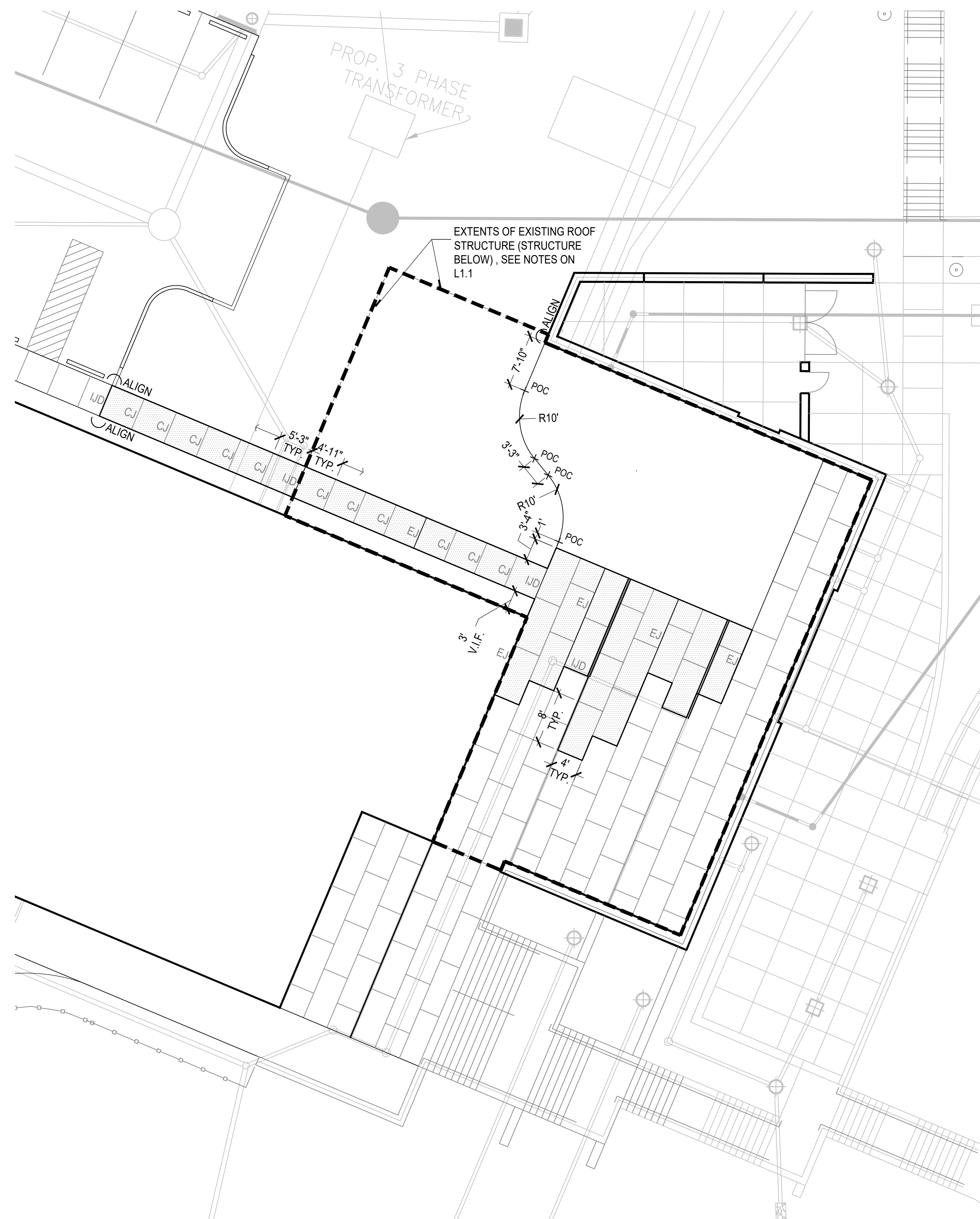
SHEET NAME:

LAYOUT PLAN

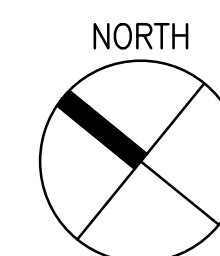
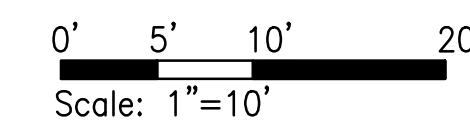
SHEET NUMBER:

L2.1

DATE: 05 JANUARY 2022

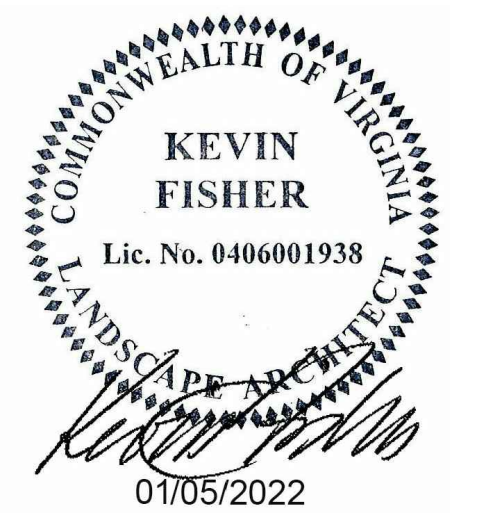


NOTES:
 1. ALL DIMENSIONS ARE 90 DEGREES TO EACH OTHER, UNLESS OTHERWISE NOTED.



NORTHERN VIRGINIA REGIONAL PARK AUTHORITY

OCCOQUAN REGIONAL PARK TERRACE EXPANSION



NAME: KEVIN FISHER
 LICENSE: COMMONWEALTH OF VIRGINIA
 LIC. NO.: 0406001938

RHI RHODESIDE HARWELL
 LANDSCAPE ARCHITECTURE
 PLANNING/URBAN DESIGN
 510 KING ST, SUITE 300
 ALEXANDRIA, VA 22314
 347 W 36TH ST, SUITE 1201
 NEW YORK, NY 10018
 T 703.683.7447
 F 703.683.7449

REVISION:

05 JANUARY 2022, CONSTRUCTION DOCUMENTS
 SCALE: AS SHOWN

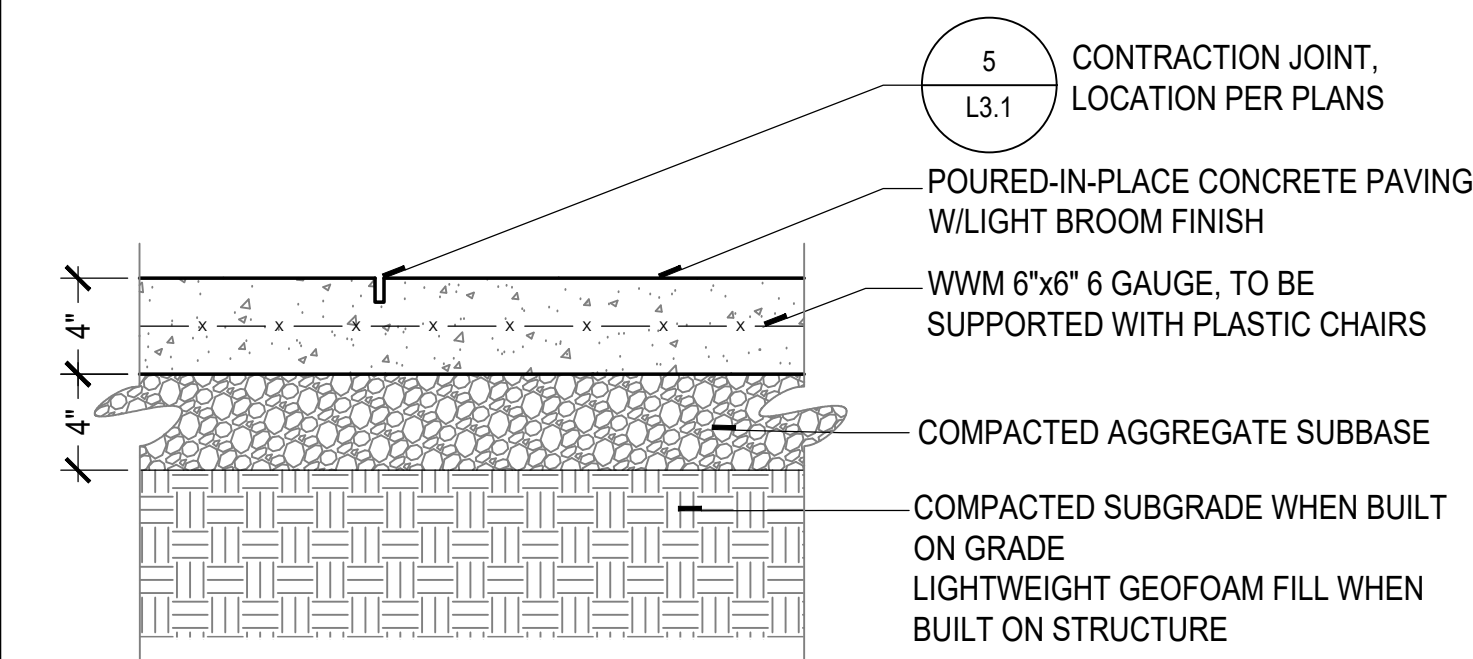
SHEET NAME:

DETAILS

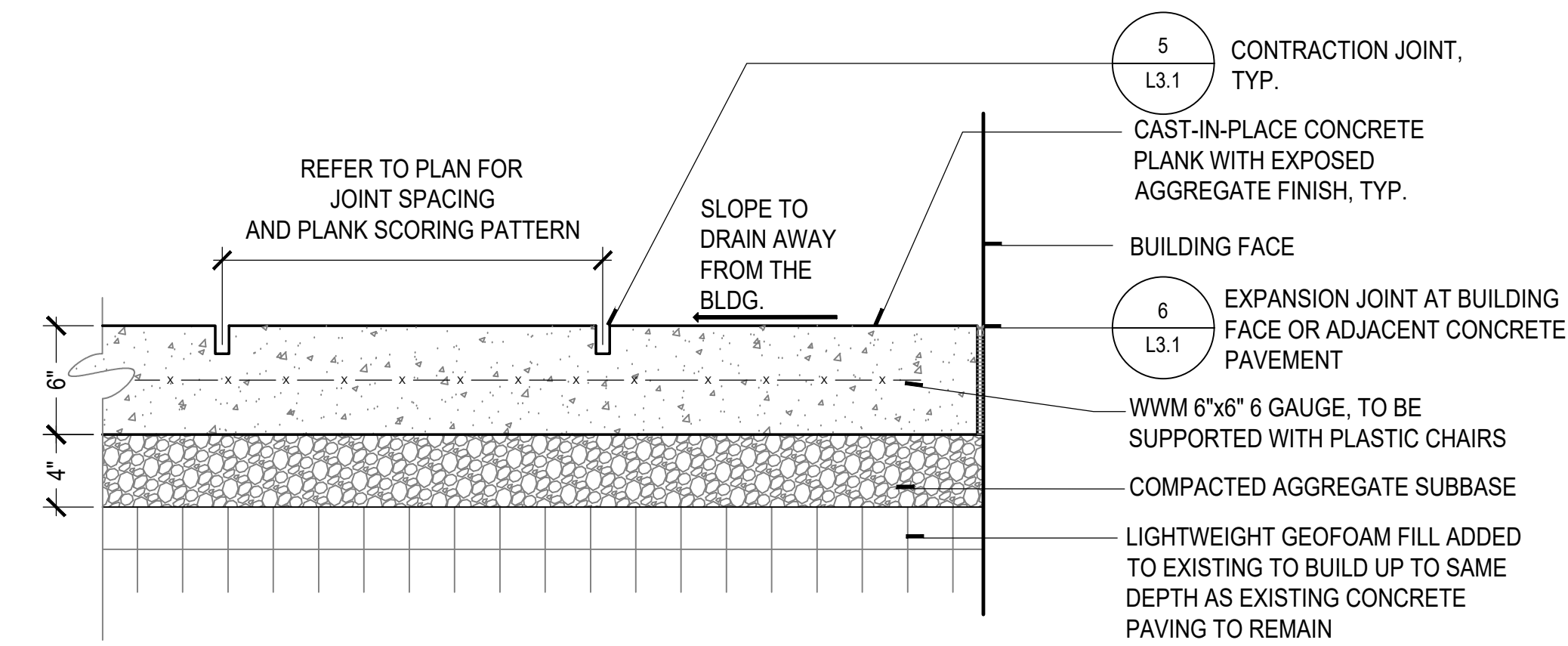
SHEET NUMBER:

L3.1

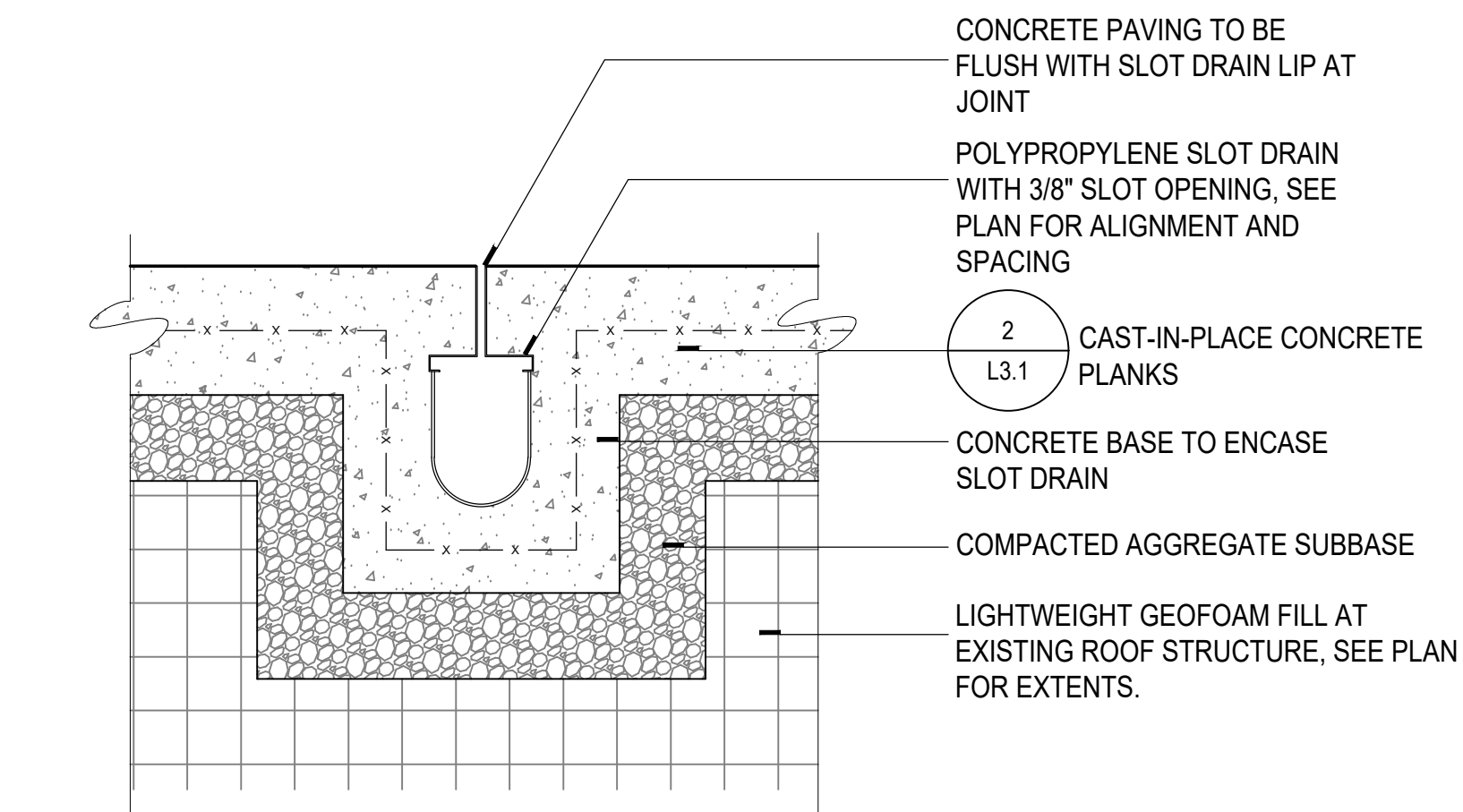
DATE: 05 JANUARY 2022



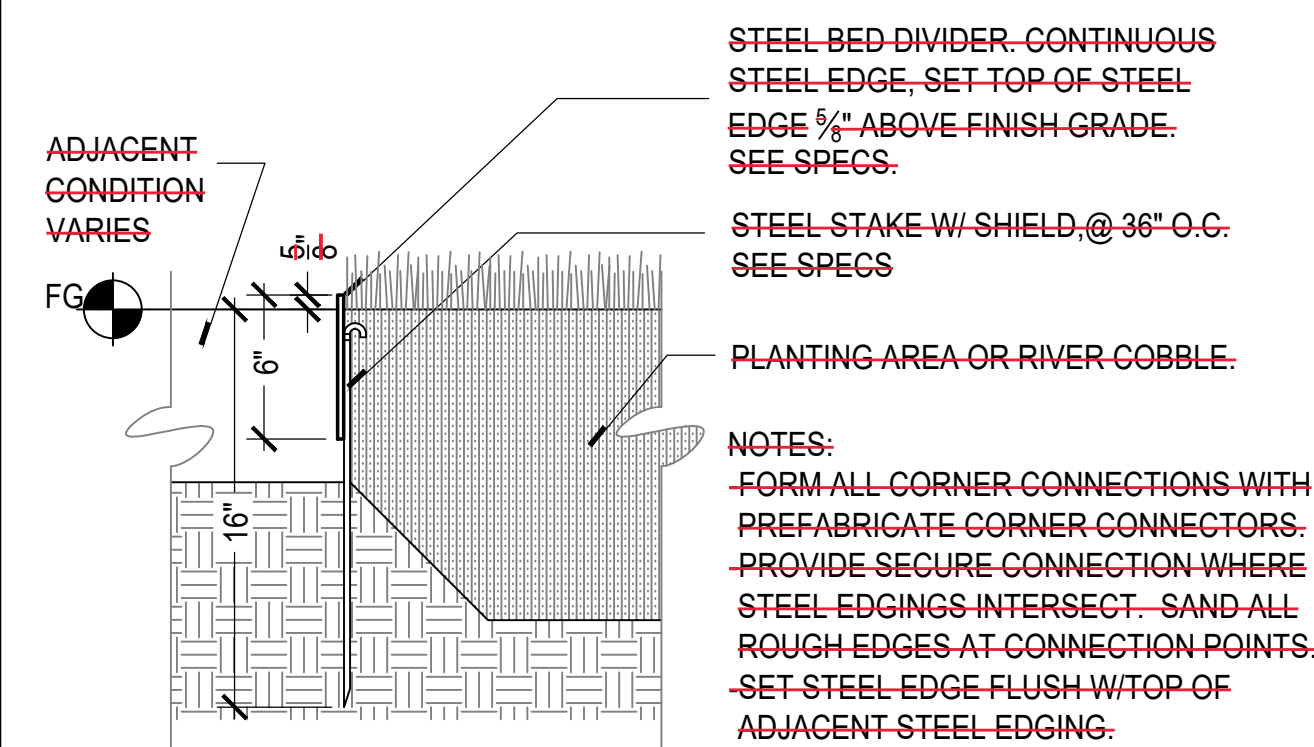
1 CONCRETE PAVING - TYPICAL SECTION
 1 1/2"=1'



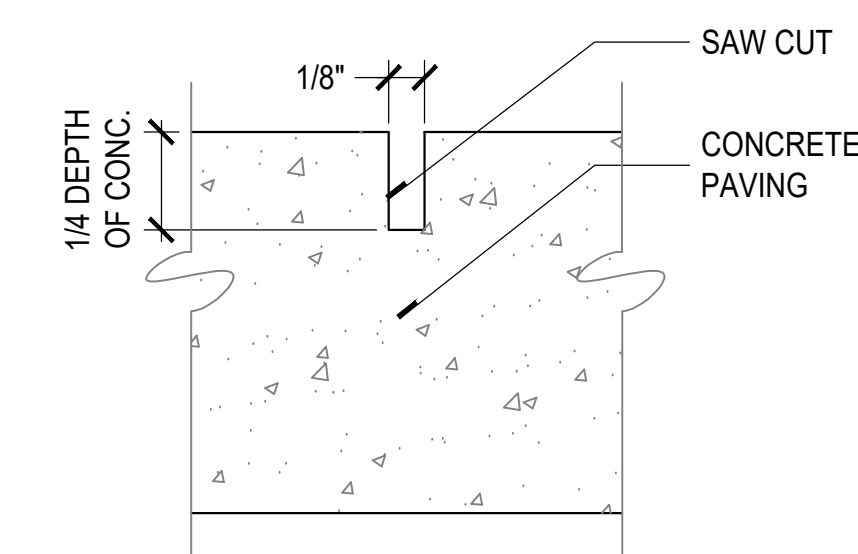
2 CAST-IN-PLACE CONCRETE PLANKS - TYPICAL SECTION
 1 1/2"=1'



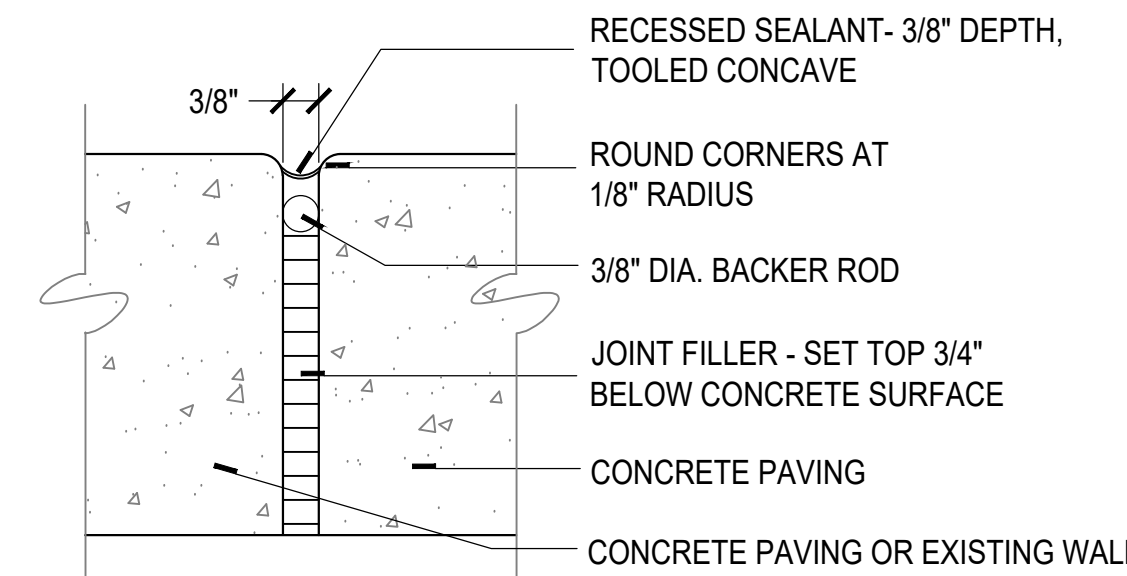
3 SLOT DRAIN SET IN CAST-IN-PLACE CONCRETE PLANKS - TYPICAL SECTION
 1 1/2"=1'



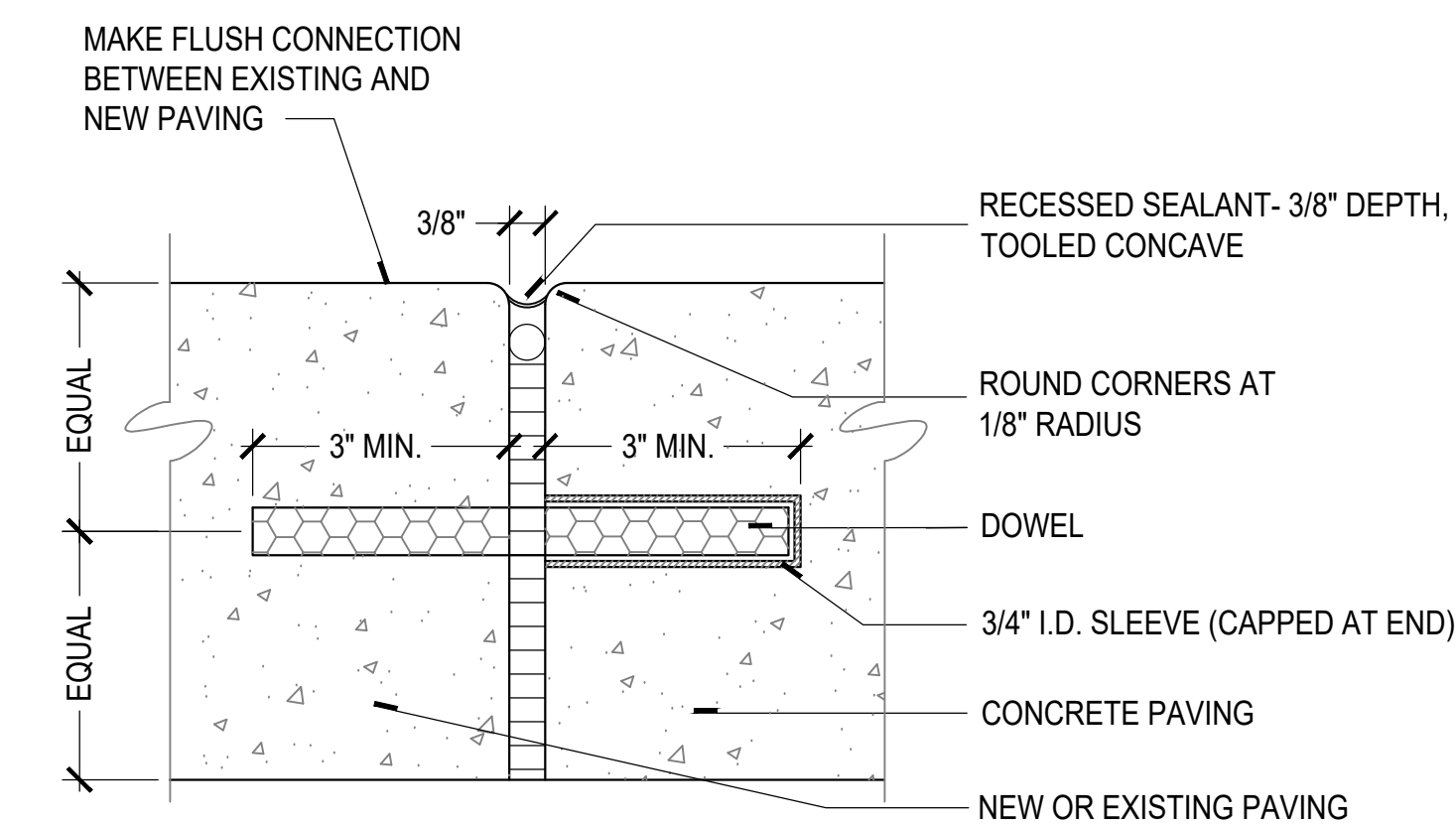
4 BED DIVIDER - TYPICAL SECTION
 1 1/2"=1'



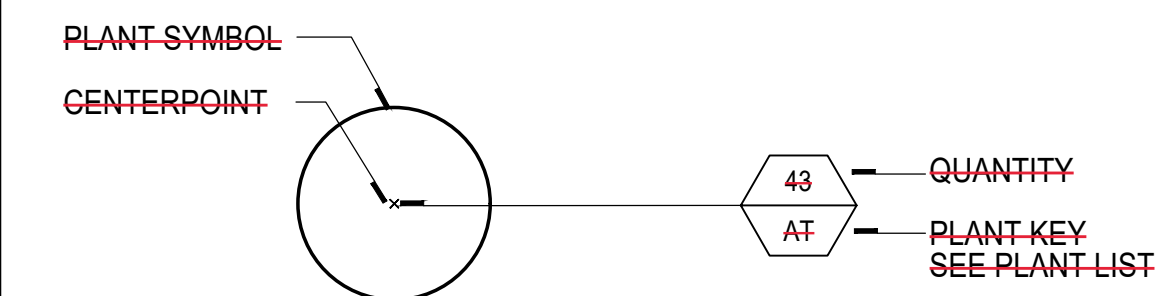
5 CONTRACTION JOINT (CJ)
 3"=1'



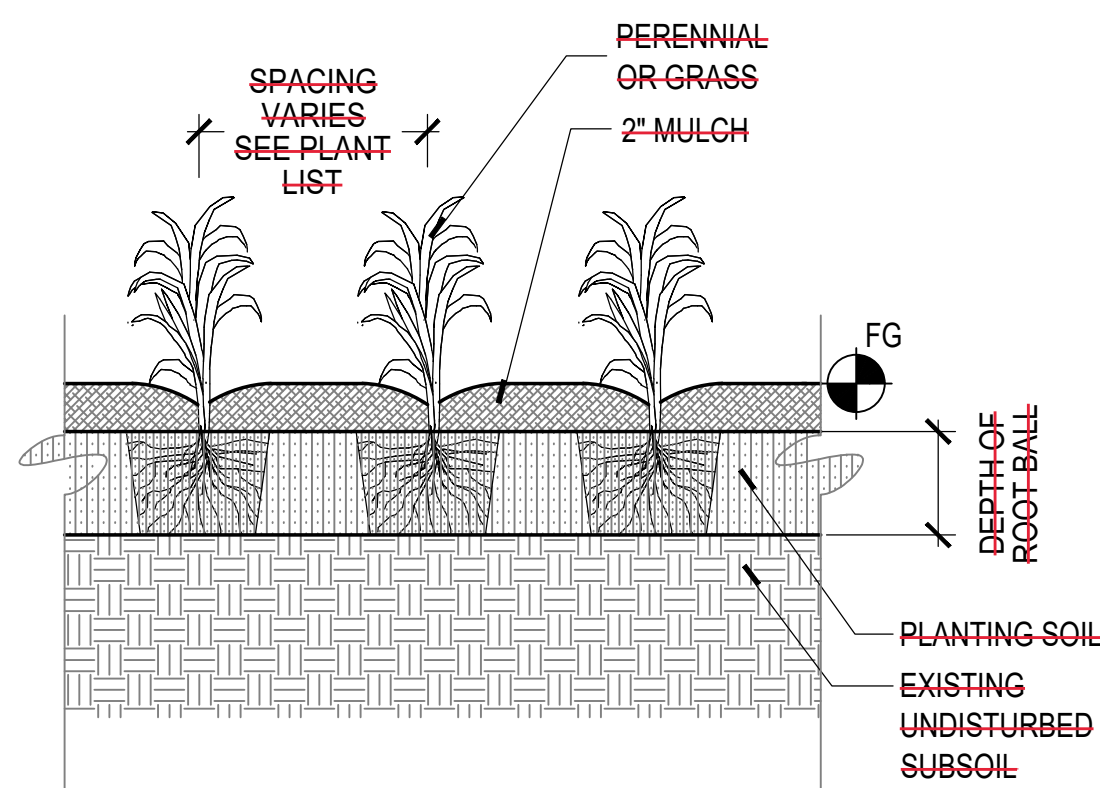
6 EXPANSION JOINT (EJ)
 3"=1'



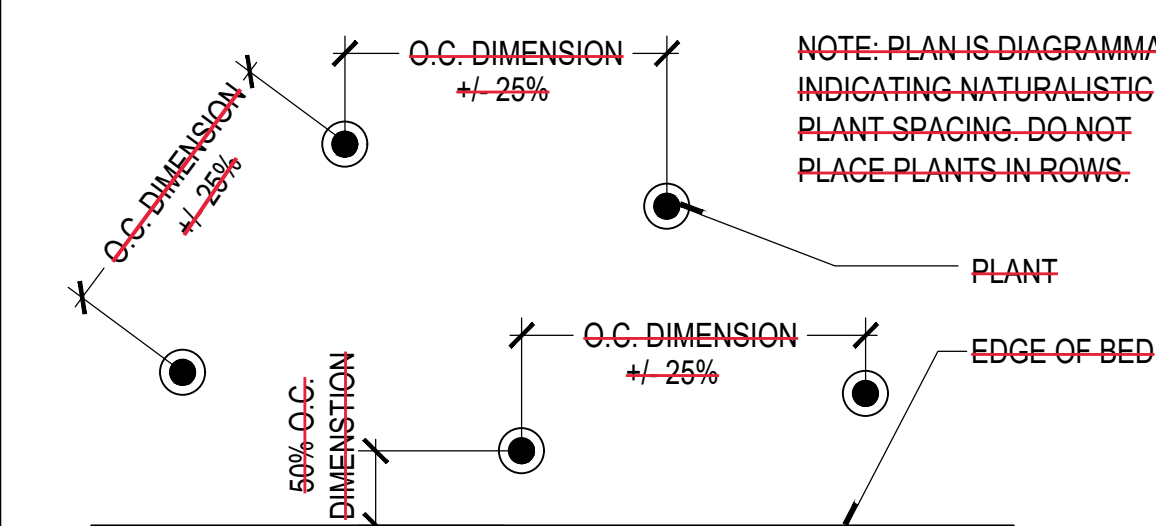
7 ISOLATION JOINT (IJD)
 3"=1'



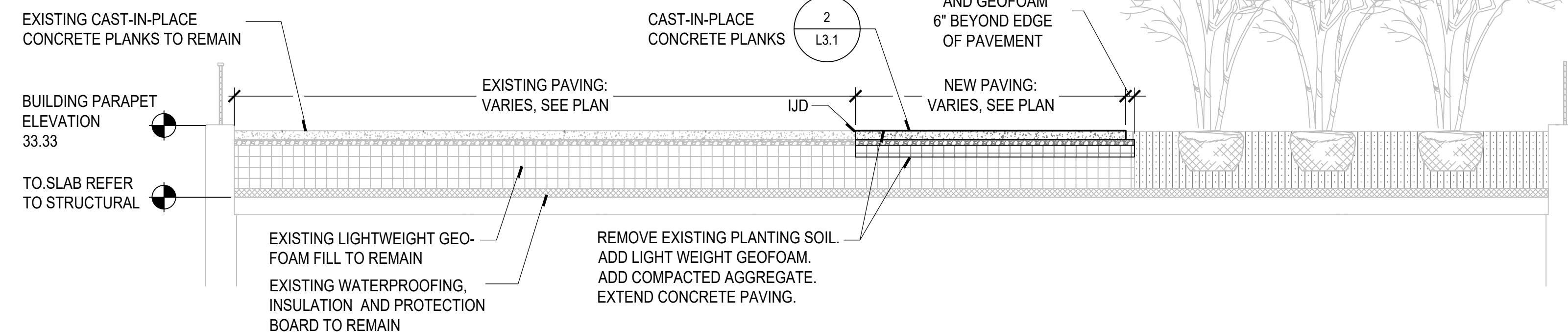
8 PLANT KEY REFERENCE
 NTS



10 PERENNIALS, GRASSES AND GROUNDCOVERS PLANTING AND SOIL PREPARATION
 1 1/2"=1'



9 PLANT SPACING LAYOUT
 NTS



11 ROOFTOP PLANTING - SECTION
 3/16"=1'