

1A:2021\2179\DWG\2179 Pohick Bay ADA Improvements - cover.dwg
PLT: Apr 15 2022 - 12:32pm

SYMBOLS LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
AIR CONDITIONING UNIT		
UTILITY POLE		
FIRE DEPARTMENT CONNECTION		
STORM STRUCTURE IDENTIFIER		
STORM MANHOLE		
STORM SEWER LAYOUT		
SANITARY STRUCTURE IDENTIFIER		
SANITARY MANHOLE		
SANITARY SEWER LAYOUT		
SIDEWALK		
SIGN		
SIGN (DOUBLE POST)		
GAS VALVE		
GAS LINE		
GAS METER		
IRRIGATION VALVE		
BOLLARD		
CLEANOUT		
WELL		
WATERLINE		
WATER VALVE		
WATER METER		
TRANSFORMER		
ELECTRIC MANHOLE		
ELECTRIC METER		
ELEC BOX/STRUCTURE		
ELECTRIC LINE		
TELECOMMUNICATION LINE		
CABLE LINE		
CABLE/ELECTRIC/TELECOMMUNICATION LINE		
TELECOMMUNICATION MANHOLE		
TELECOMMUNICATION STRUCTURE		
OVERHEAD STREET LIGHT		
LIGHT POLE		
LANDSCAPE LIGHT		
FENCES		
GRADING SPOT		
GRADING CONTOUR		
BUILDING ENTRANCE		
PAVING		
GUARDRAIL		
CURB AND GUTTER		
PROPOSED SPILL CURB		
PROPOSED TRANSITION/NOSE DOWN CURB		
LIMITS OF DISTURBANCE		

TEXT LEGEND:

* = DEGREES
' = MINUTES (OR FEET)
" = SECONDS (OR INCHES)
% = PERCENT
= NUMBER
@ = AT
lbs = POUNDS
A = ARC
AC = ACRE
ADA = AMERICANS W/ DISABILITIES ACT
APPROX = APPROXIMATE
BC = BOTTOM OF CURB
BF = BASEMENT FLOOR
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BM = BENCHMARK
BSMT = BASEMENT
BOL = BOLLARD
BW = BOTTOM OF WALL
CATV = CABLE UTILITY
CL = CLASS
C/L = CENTERLINE
CLR = CLEARANCE
CLF = CHAIN LINK FENCE
CMP = CORRUGATED METAL PIPE
CI = CURB INLET
CO = CLEAN OUT
CONC = CONCRETE
C&G = CURB & GUTTER
CVR = COVER
DB = DEED BOOK
DHF = DRILL HOLE FOUND
DIP = DUCTILE IRON PIPE
DOM = DOMESTIC
DU = DWELLING UNIT
E = EAST
EBOX = ELECTRICAL BOX
ESMT = EASEMENT
EP = EDGE OF PAVEMENT
EVE = EMERGENCY VEHICLE EASEMENT
EX = EXISTING
FDC = FIRE DEPT. CONNECTION
FF = FINISH FLOOR
FH = FIRE HYDRANT
FT = FEET
GI = GRATE INLET
G/L = GAS LINE
GM = GAS METER
G/S = GAS SERVICE
GV = GAS VALVE
HC = HEADER CURB
HDOP = HANDICAP
HDPE = HIGH DENSITY POLYETHYLENE
HP = HIGH POINT
HPS = HIGH PRESSURE SODIUM
IPF = IRON PIPE FOUND
INV = INVERT
INSTR = INSTRUMENT
INTX = INTERSECTION
IRF = IRON ROD FOUND
L = LUMENS
LAT = LATERAL
LED = LIGHT EMITTING DIODE
LL = LANDSCAPE LIGHT
LOC = LOCATION
LP = LIGHT POLE
MAX = MAXIMUM
ME = MATCH EXISTING
MH = MANHOLE
MIN = MINIMUM
MON = MONUMENT
MPH = MILES PER HOUR
MW = MONITORING WELL
N = NORTH
OHW = OVERHEAD WIRE
PED = PEDESTRIAN
PN = PANEL
PG = PAGE
PP = POWER POLE
PROP = PROPOSED
PVC = POLYVINYL CHLORIDE
R = RADIUS
RCP = REINFORCED CONCRETE PIPE
RELOC = RELOCATED
RET = RETAINING
RESID = RESIDENTIAL
REQ = REQUIRED
ROW = RIGHT-OF-WAY
S = SOUTH
SAN = SANITARY
SEW = SEWER
SF = SQUARE FEET
SQ FT = SQUARE FEET
STM = STORM
STR = STRUCTURE
SW = SIDEWALK
TBR = TO BE REMOVED
TBS = TO BE SAVED
TM = TAX MAP
TMH = TELEPHONE MANHOLE
TC = TOP OF CURB
TW = TOP OF WALL
TRAF SIG = TRAFFIC SIGNAL
TYP = TYPICAL
UGE = UNDERGROUND ELECTRIC
UP = UTILITY POLE
VCS = VIRGINIA COORDINATE SYSTEM
VPD = VEHICLES PER DAY
W = WEST
W/L = WATER LINE
WM = WATER METER
W/S = WATER SERVICE
WSE = WATER SURFACE ELEVATION
WV = WATER VALVE
WW = WINDOW WELL
XING = CROSSING

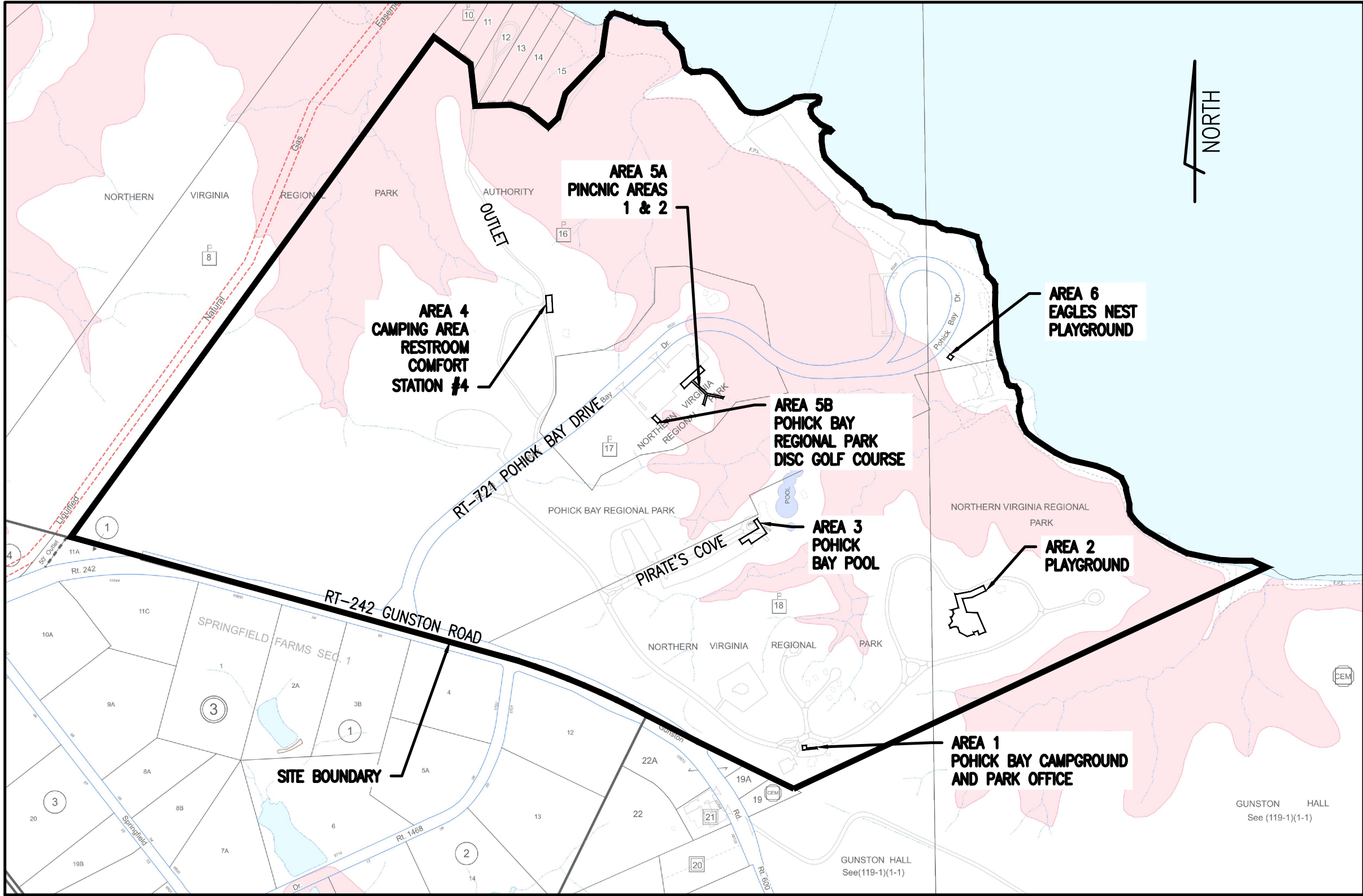
CONSTRUCTION DOCUMENT

ADA IMPROVEMENTS AT POHICK BAY REGIONAL PARK (#10417 GUNSTON ROAD) FAIRFAX COUNTY, VIRGINIA

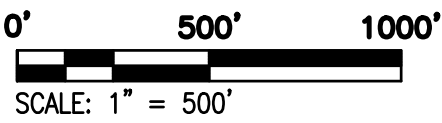
GENERAL NOTES:

- TAX MAP: #114-3-01-0011
- ZONE: RE
- OWNER: NORTHERN VIRGINIA REGIONAL PARK AUTHORITY
5400 OX ROAD
FAIRFAX STATION, VA 22039
DB: 3097 PG: 619
- TOPOGRAPHIC SURVEY FIELD RUN BY THIS FIRM. VERTICAL DATUM = NGVD '29 PER GPS/RTK FIELD SURVEY REFERENCED TO THE RTK NETWORK OF LEICA, SMARTNET AND USING NGS SOFTWARE (VERTCON) FOR VERTICAL DATUM CONVERSION.
- THE PROPERTY SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83), NORTH ZONE, US SURVEY FOOT UNITS AS COMPUTED FROM A FIELD RUN HORIZONTAL CONTROL SURVEY TIED TO THE FAIRFAX COUNTY SURVEY MONUMENT HV9597 (COMBINED SCALE FACTOR 0.99994751).
- A TITLE REPORT WAS NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.
- PLAT SUBJECT TO RESTRICTIONS OF RECORD.
- TOTAL SITE AREA = 7,682,677 SQ. FT. OR 176.37 ACRES (TAX ASSESSMENT)

	DISTURBED AREA	LIMITS OF FUTURE WORK
AREA 1:	1,780 SF OR 0.0409 AC	0 SF OR 0.0000 AC
AREA 2:	1,437 SF OR 0.0330 AC	4,788 SF OR 0.1099 AC
AREA 3:	0 SF OR 0.0000 AC	0 SF OR 0.0000 AC
AREA 4:	1,193 SF OR 0.0274 AC	0 SF OR 0.0000 AC
AREA 5A:	1,444 SF OR 0.0331 AC	0 SF OR 0.0000 AC
AREA 5B:	0 SF OR 0.0000 AC	1,543 SF OR 0.0354 AC
AREA 6:	885 SF OR 0.0203 AC	0 SF OR 0.0000 AC



VICINITY MAP
SCALE 1" = 500'



PROJECT DESCRIPTION:

THIS PROJECT PROPOSES ADA IMPROVEMENTS ACROSS SIX DIFFERENT SITES THROUGHOUT POHICK BAY REGIONAL PARK. THE PROPOSED IMPROVEMENTS WILL PROVIDE ADA ACCESS TO AREAS OF THE PARK THAT WERE PREVIOUSLY NON-ADA COMPLIANT. THE IMPROVEMENTS CONSIST OF RESTRIPING EXISTING PARKING LOTS TO ADD ADA ACCESSIBLE PARKING SPACES, PROPOSING ADA ACCESSIBLE ASPHALT PARKING SPACES, ACCESS AISLES, ADA ACCESSIBLE CONCRETE PATHS, AND RAMPS.

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EXISTING UTILITIES SHOWN ON THIS PLAN TAKEN FROM AVAILABLE RECORDS AND/OR FROM FIELD OBSERVATIONS. FOR EXACT LOCATIONS OF EXISTING UNDERGROUND UTILITIES, NOTIFY "MISS UTILITY" AT 1-800-552-7001, 72 HOURS BEFORE THE START OF ANY EXCAVATION OR CONSTRUCTION.

LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL NOT BE THE RESPONSIBILITY OF THIS OFFICE.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF FAIRFAX COUNTY
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CONSTRUCTION DOCUMENT
PROPERTY LOCATED AT
10417 GUNSTON ROAD
(DB 3097, PG 619)
MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

DATE	REVISION

DESIGN: KB
CHECKED: VM
SCALE: 1" = 500'
DATE: FEB 2022

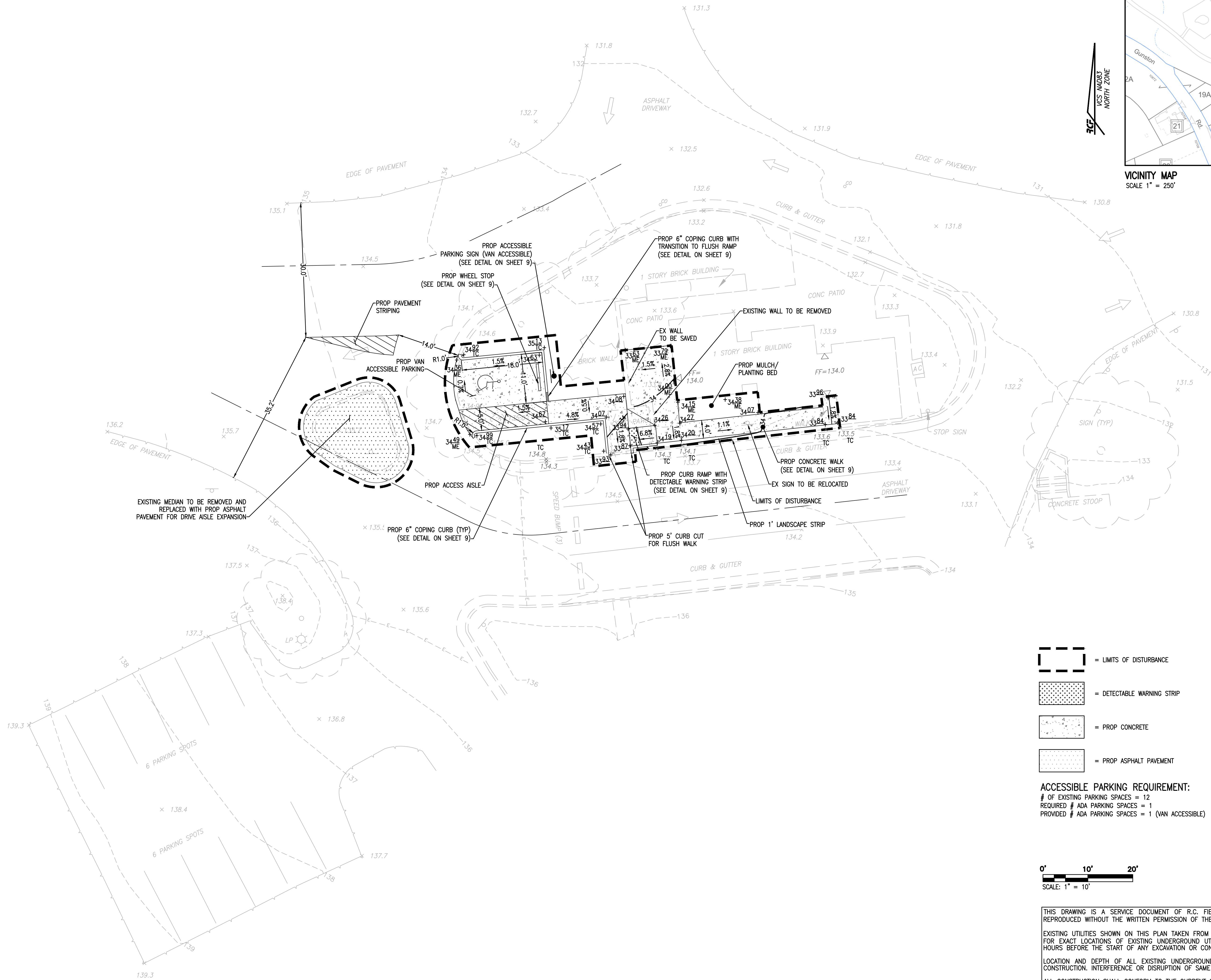
COVER SHEET

SHEET 1 OF 9

FILE: 21-179

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1A:2021121790\DWG\ELVA\Pollock Bay ADA Improvements_mover.dwg
PLT: Apr 15 2022 - 1:23:30pm



- [Dashed line] = LIMITS OF DISTURBANCE
- [Stippled pattern] = DETECTABLE WARNING STRIP
- [Dotted pattern] = PROP CONCRETE
- [Cross-hatched pattern] = PROP ASPHALT PAVEMENT

ACCESSIBLE PARKING REQUIREMENT:
OF EXISTING PARKING SPACES = 12
REQUIRED # ADA PARKING SPACES = 1
PROVIDED # ADA PARKING SPACES = 1 (VAN ACCESSIBLE)

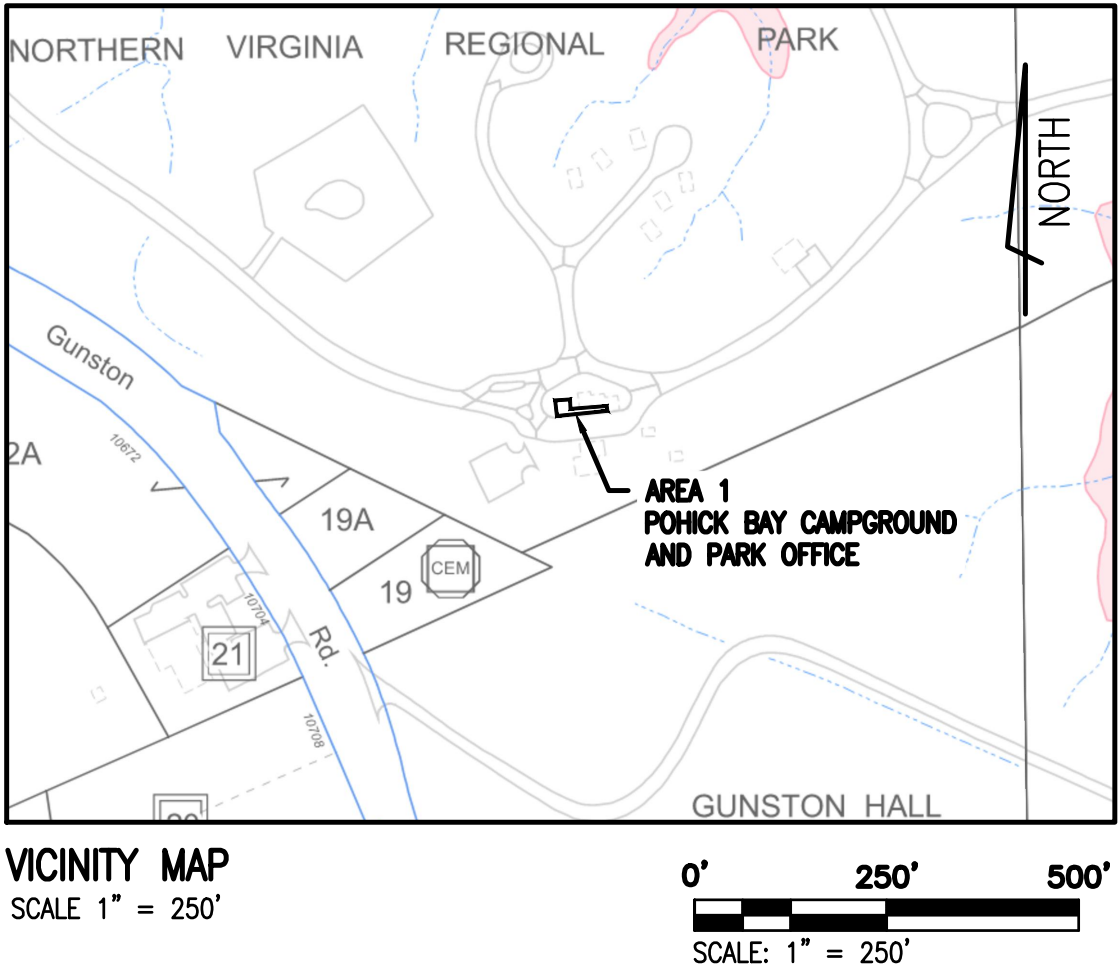
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SCALE: 1" = 10'

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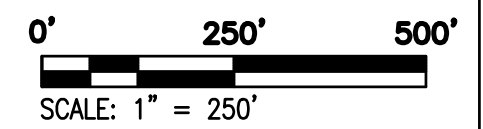
CONSTRUCTION DOCUMENT
PROPERTY LOCATED AT
10417 GUNSTON ROAD
(DB 3097, PG 619)
MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

DATE	REVISION

DESIGN: KB
CHECKED: VM
SCALE: AS NOTED
DATE: FEB 2022

POHICK BAY
CAMPGROUND
AND PARK OFFICE
(AREA 1) ADA
IMPROVEMENTS

SHEET **2** OF **9**
FILE: **21-179**



CONSTRUCTION DOCUMENT
PROPERTY LOCATED AT
10417 GUNSTON ROAD
(DB 3097, PG 619)
MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

FILE: 21-179

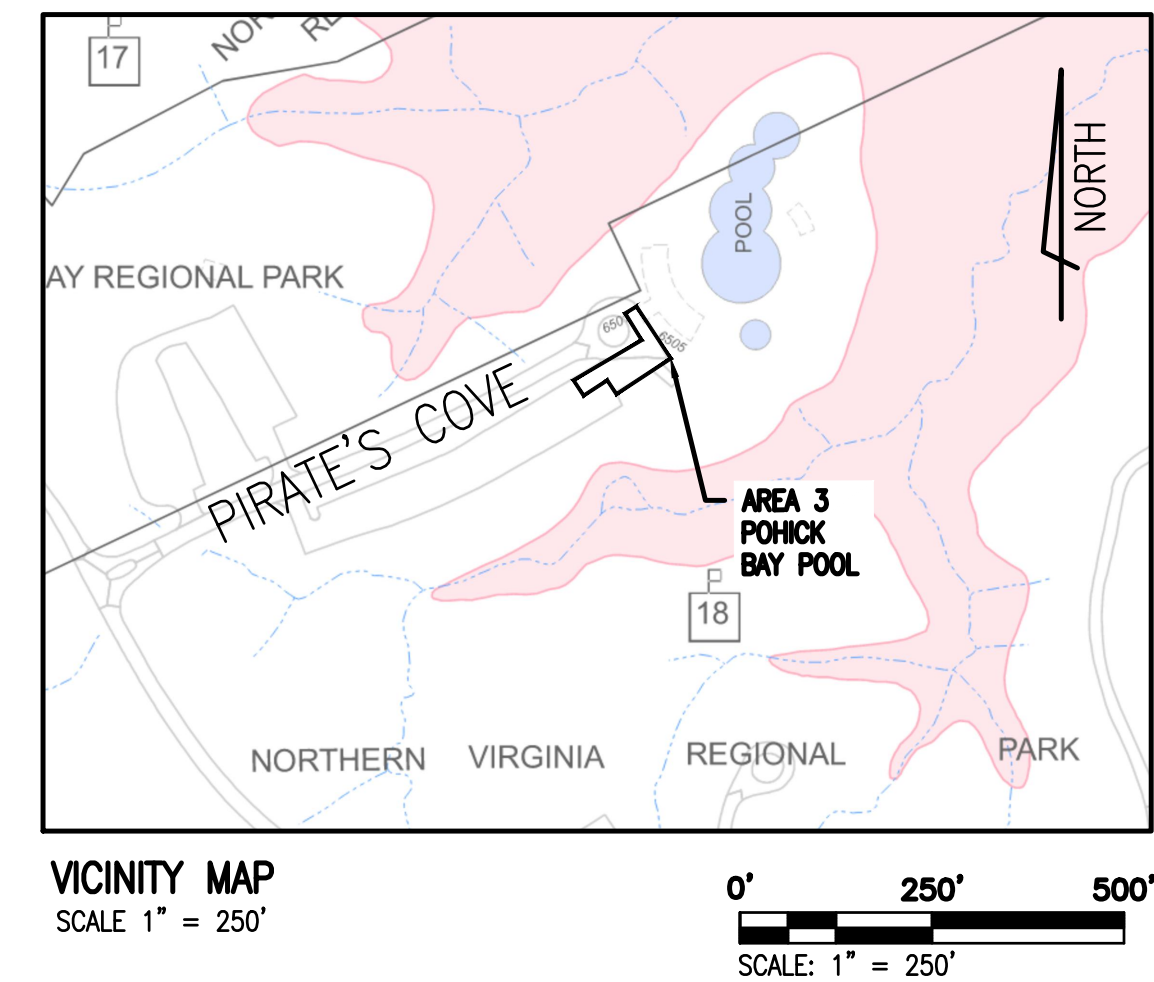
ACCESSIBLE PARKING REQUIREMENT:
OF PROPOSED PARKING SPACES = 3
REQUIRED # ADA PARKING SPACES = 1
PROVIDED # ADA PARKING SPACES = 1 (VAN ACCESSIBLE)

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CONSTRUCTION DOCUMENT
PROPERTY LOCATED AT
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MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

[illegible]

DESIGN: KB
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SCALE: AS NOTED
DATE: FEB 2022


POHICK BAY POOL (AREA 3) ADA IMPROVEMENTS

SHEET 4 OF 9
FILE: 21-179

 = ACCESSIBLE ADA PATHWAY

ACCESSIBLE PARKING REQUIREMENT:
 APPROX # OF EXISTING PARKING SPACES = 151
 REQUIRED # ADA PARKING SPACES = 6
 PROVIDED # ADA PARKING SPACES = 6 (2 VAN ACCESSIBLE)

0' 10' 20'



SCALE: 1" = 10'

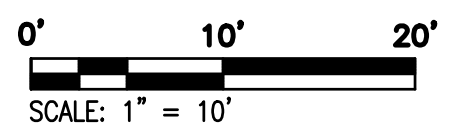
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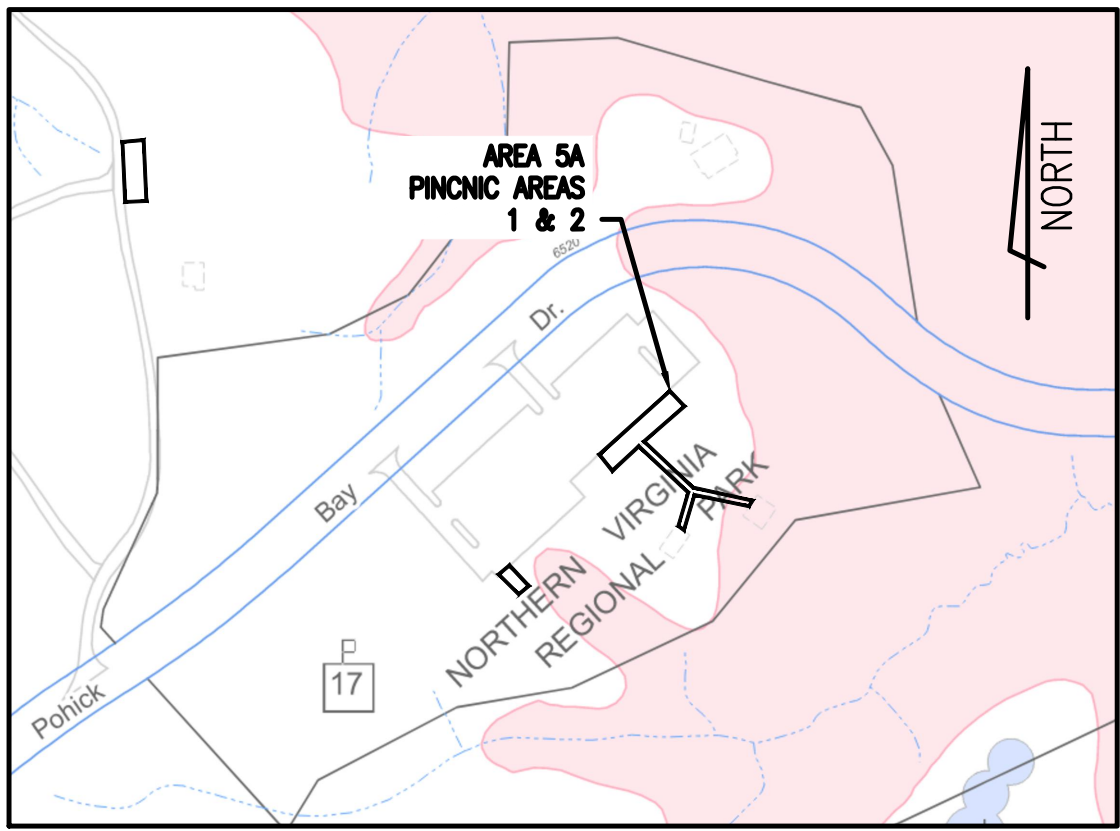
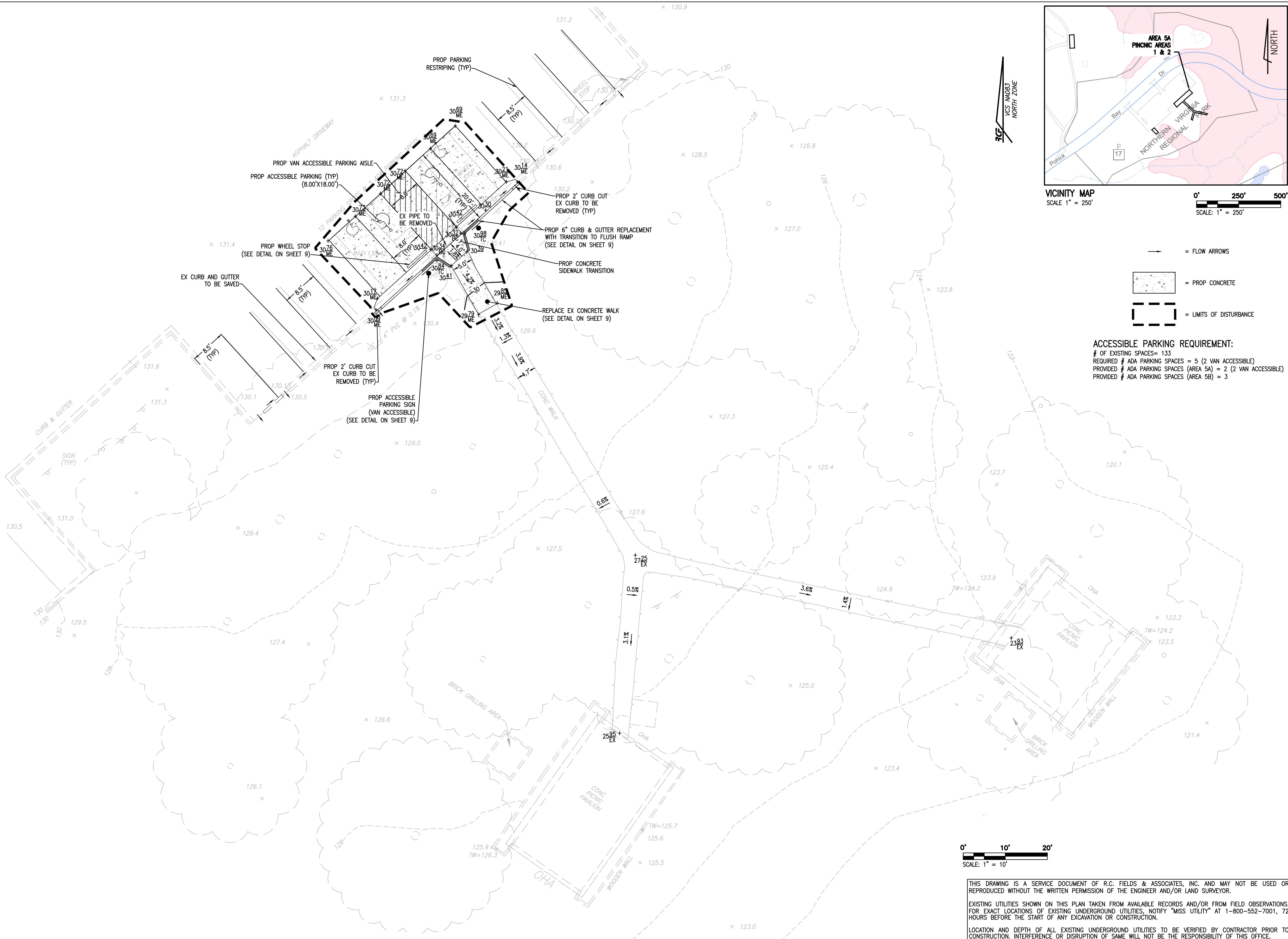
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SHEET 5 OF 9
FILE: 21-179

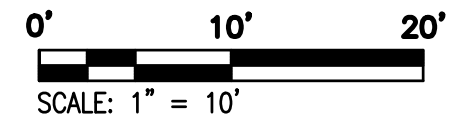
LA 2021.12179.DWG\DELTA\Pollock Bay ADA Improvements_revised.dwg
5/1/2022 11:15 AM



VICINITY MAP
SCALE 1" = 250'

- = FLOW ARROWS
- [Pattern] = PROP CONCRETE
- [Dashed Box] = LIMITS OF DISTURBANCE

ACCESSIBLE PARKING REQUIREMENT:
OF EXISTING SPACES= 133
REQUIRED # ADA PARKING SPACES = 5 (2 VAN ACCESSIBLE)
PROVIDED # ADA PARKING SPACES (AREA 5A) = 2 (2 VAN ACCESSIBLE)
PROVIDED # ADA PARKING SPACES (AREA 5B) = 3



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CONSTRUCTION DOCUMENT

PROPERTY LOCATED AT

10417 GUNSTON ROAD

(DB 3097, PG 619)

MOUNT VERNON DISTRICT

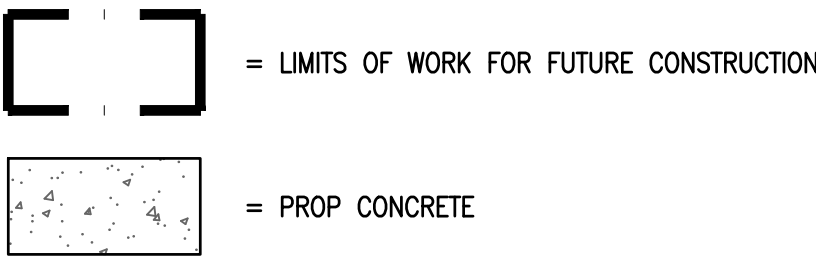
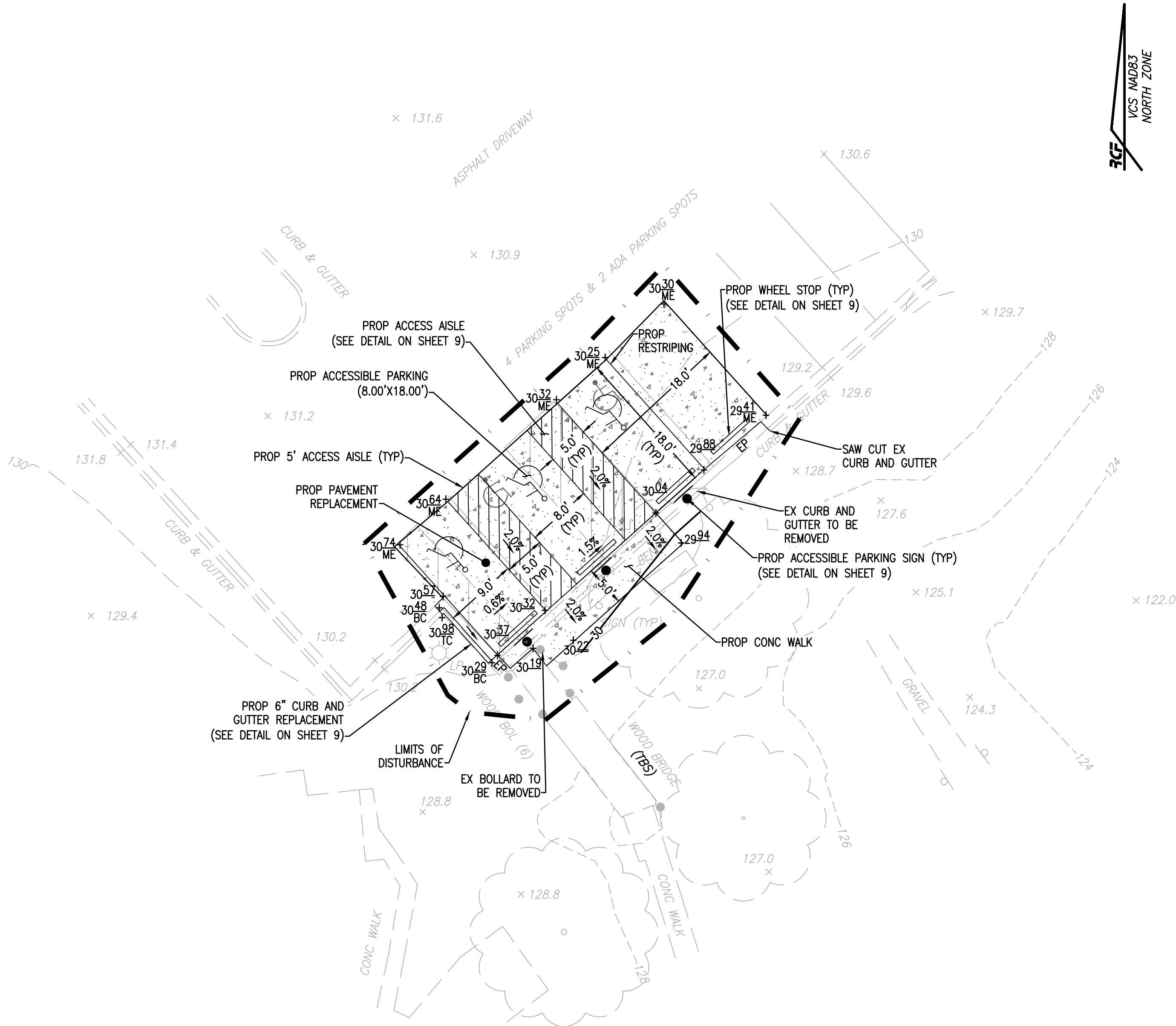
FAIRFAX COUNTY, VIRGINIA

DATE	REVISION

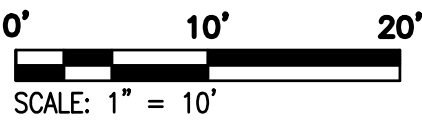
DESIGN: KB
CHECKED: VM
SCALE: AS NOTED
DATE: FEB 2022

PAVILIONS
(AREA 5A) ADA
IMPROVEMENTS

I:\2021\1179\DWG\ELVA\ Pohick Bay ADA Improvements_recover.dwg
11/15/2021 11:15 AM 11/15/2021 11:15 AM



ACCESSIBLE PARKING REQUIREMENT:
OF EXISTING SPACES= 133
REQUIRED # ADA PARKING SPACES = 5 (1 VAN ACCESSIBLE)
PROVIDED # ADA PARKING SPACES (AREA 5A) = 2 (2 VAN ACCESSIBLE)
PROVIDED # ADA PARKING SPACES (AREA 5B) = 3



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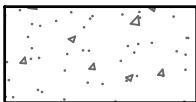
DATE	REVISION

DESIGN: KB
CHECKED: VM
SCALE: AS NOTED
DATE: FEB 2022

POHICK BAY
REGIONAL PARK
DISC GOLF
COURSE (AREA
5B) ADA
IMPROVEMENTS

SHEET **7** OF **9**
FILE: **21-179**

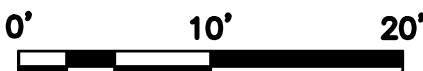
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F:\1 Apr 15 2022 - 12:41:00pm



= PROP CONCRETE



= LIMITS OF DISTURBANCE



SCALE: 1" = 10'

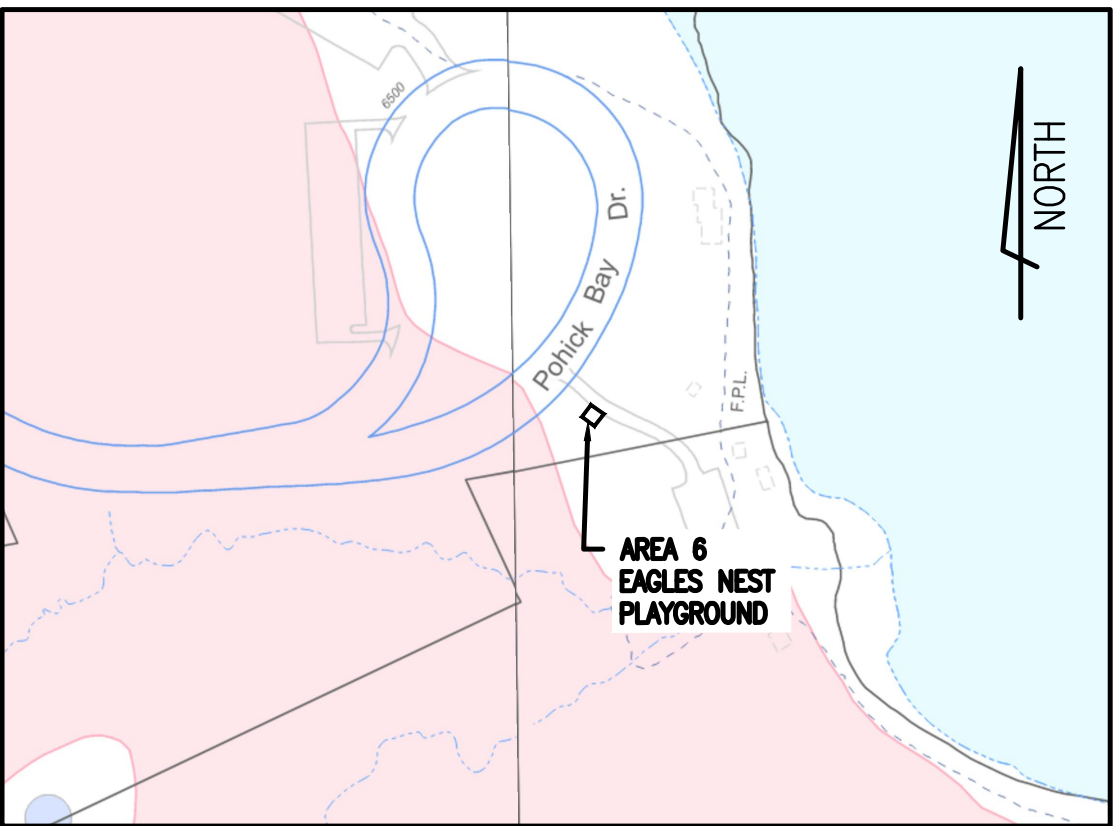
ACCESSIBLE PARKING REQUIREMENT:
PROVIDED # ADA PARKING SPACES = 1 (VAN ACCESSIBLE)

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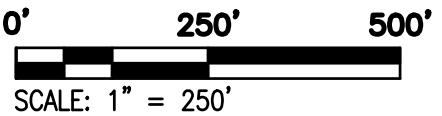
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VICINITY MAP
SCALE: 1" = 250'



SCALE: 1" = 250'

CONSTRUCTION DOCUMENT
PROPERTY LOCATED AT
10417 GUNSTON ROAD
(DB 3097, PG 619)
MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

DATE	REVISION

DESIGN: KB
CHECKED: VM
SCALE: AS NOTED
DATE: FEB 2022

EAGLES NEST
PLAYGROUND
(AREA 6) ADA
IMPROVEMENTS

SHEET **8** OF **9**

FILE: **21-179**

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